

Heritage and Conservation

PART H Heritage and Conservation

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1.0 INTRODUCTION

1.1 Objectives

- a) To conserve the heritage significance of the natural and built environment within Holroyd and to ensure that new development is sympathetic to the identified heritage values;
- b) To provide guidance for development in relation to heritage items and heritage conservation areas;
- c) To encourage an understanding of heritage significance and to promote the conservation of heritage within Holroyd;
- d) To ensure that the development assessment process in relation to heritage items and heritage conservation areas is straightforward and appropriate to the needs of the community

2.0 HOW HAS MY PROPERTY BEEN IDENTIFIED AS A HERITAGE ITEM?

Council's 1993 Heritage Study and 1998 Heritage Review identified heritage items and heritage conservation areas throughout the city of Holroyd. The majority of these properties or conservation areas have been listed on individual inventory sheets, which outline the history of the land or property, provide an architectural description, and a reference to how the property compares with other properties in the local government area in terms of heritage. These inventory sheets assist in determining the significance of the item or area, and are available from Council on request.

The majority of heritage items listed within Holroyd Local Environmental Plan 1991 are locally listed items, which means that they have importance within our local government area, and also that Council is the consent authority for any development proposal.

However, in special cases a heritage item or conservation area may be listed at a state or national level. This means that the item is considered to be important to the history of New South Wales, or at an Australia-wide level. State significant items are given a formal listing on the NSW State Heritage Register through a nomination process, with the NSW Heritage Council approving the final listing.

Heritage items which are of national significance are listed through a nomination process with the Australian Heritage Commission, and placed on the Register of the National Estate. Heritage listing on the Register of the National Estate restricts the activities of Commonwealth agencies in relation to listed items.

For example, "Guildford Railway Station" and "Essington" are special heritage items that are listed on the State Heritage Register. Prospect Hill is proposed to be listed on the Register of the National Estate, whilst Parramatta Regional Park is one of Australia's important heritage items, which has national heritage significance.

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3.0 PROCEDURES – WHEN IS A DEVELOPMENT APPLICATION REQUIRED?

If you own land that contains a heritage item, is located within a heritage conservation area or is located near a heritage item or conservation area, you may need to lodge a development application with Council to undertake works on the site.

Generally, a development application is required for:

- a) any alterations, additions or extensions to a heritage item,
- b) structural or non-structural changes or changes to the fabric (materials),
- c) adaptive reuse, or
- d) changes to a garden or grounds which have been identified to have heritage significance.

These requirements are generally consistent with those set out in the Holroyd Local Environmental Plan 1991.

Some works do not require a development application where Council considers that the proposed works are minor and would not adversely affect the heritage significance of the item or area.

The following two tables show works that are:

- a) Table 1 - of a minor nature, and which as a consequence may not require the consent of Council or are able to be certified by a Private Certifier, and
- b) Table 2 - works that generally require the consent of Council.

Before undertaking any works listed in Table 1, you should contact Council in writing about the proposed changes and how they may affect your property. Council will then advise you and confirm in writing that it is satisfied that these works will not need a development application.

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TABLE 1: WORKS THAT DO NOT REQUIRE A DEVELOPMENT APPLICATION

TYPE OF WORKS	CRITERIA	ADVICE
Repainting surfaces that are already painted	Surfaces that are already painted can be repainted without consent of Council.	Colours chosen for paintwork should be in keeping with heritage significance or style of the property or conservation area.
Maintenance or repair work on external fabric and gardens	General external maintenance or repair works on a heritage item or building within a conservation area do not need the consent of Council. This includes treating timber, replacing broken windows, rehinging doors/gates, replacing or establishing gutters and down pipes, repointing brick work, restoring verandah posts or fence posts or repairing stone work and plasterwork, underpinning and damp proofing, general maintenance of heritage gardens (eg pruning or replanting of original species).	For replacement of original materials with modern on front or side walls, such as timber windows with aluminium casement, or for the addition of new decorative elements (eg which did not exist on the subject building or those of its style), consent will be required to be obtained from Council. Where a garden forms part of the significance of a property, or has been identified as a heritage item, consent will be required from Council for major changes. (See Table 2).
Internal alterations	In general, non-structural internal alterations of locally listed heritage items do not need the consent of Council. However, you will need to lodge a development application with Council for any internal works which involve structural changes.	For the modification of any significant, intact interiors or for those buildings identified on the State Heritage Register, a development application is required to be lodged with Council (see Table 2).
Installation of skylights, solar panels, roof vents, water heaters or communication facilities.	These features are permissible without consent only where they are not visible from the street or from a public place, and where aerials or antennae do not project more than 2 metres from the building roof line.	See Part I Exempt and Complying Development, for more details on this matter.

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TYPE OF WORKS	CRITERIA	ADVICE
Erection of minor outbuildings or detached structures.	Minor outbuildings and detached structures such as cabanas, cubby houses, garden sheds, gazebos and green houses are permissible without the consent of Council only where they are not visible from the street or a public place and they do not affect the heritage significance of the building or its garden or curtilage.	See Part I Exempt and Complying Development, for more details on this matter.
Demolition or erection of rear or side fences or walls	The demolition or erection of fences or walls located behind the front setback of the main building, generally do not require the consent of Council.	Any proposed changes to old masonry walls and fences which form an important part of the property and which contribute to its heritage significance, will require the consent of Council.

TABLE 2: WORKS THAT REQUIRE A DEVELOPMENT APPLICATION

TYPE OF WORKS	COMMENTS
Alterations, additions or extensions to a heritage item or building within a conservation area.	Proposed extensions or additions will require a development application to be lodged, and the potential impacts of such additions to the significance of the item will be assessed.
Structural or non-structural changes to the exterior of a heritage item or building in a conservation area, including to the fabric, detail, finish or appearance (other than those works listed in Table 1); also structural changes to the interior.	Proposed structural/non-structural changes to the exterior of a heritage item or building located within a conservation area, or structural changes to the interior will require a development application to be lodged, and the potential impacts of such additions to the significance of the item will be assessed.
Moving a heritage item or building within a conservation area.	Generally, Council does not support the relocation of a heritage item unless there is strong justification for its removal. Where removal is proposed, a heritage impact assessment should clearly show why this is the preferred action in light of the heritage significance of the item or area. Any recommendations for removal should be based on the heritage significance of the item, not on the development potential of the land it is situated on. All development applications for removal will be referred to Council's Heritage Adviser for comment, and will be considered by Council with reference to the recommendations from the Adviser.

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TYPE OF WORKS	COMMENTS
Erecting an additional building or subdividing land on which a heritage item is located or which is within a heritage conservation area.	For the proposed addition of a building or subdivision on land with a heritage item, the impacts of these works on any important landscaping or curtilage (heritage boundary) will be assessed.
Structural or non-structural changes to the interior of a building which is on the State Heritage Register, or which has been identified as having significance.	A development application is to be lodged with Council, and referral will be made to the New South Wales Heritage Office for items listed on the State Heritage Register (in certain cases involving major development).
Modifications to significant gardens or curtilages, or the installation of driveways or paths for significant heritage items.	Where the garden or curtilage has been identified as being an important part of a heritage item or building within a conservation area, any major changes (eg new driveways and pathways) will need to be lodged with Council through a development application.
Works involving the removal/ demolition of later additions or alterations to a heritage item or building within a conservation area.	The removal of later alterations or additions to a heritage item or building within a conservation area will generally require a development application to determine whether these changes will affect the heritage significance of the building or character of the conservation area.
Replacement or repair of existing walls to a dwelling/carport/garage, or the erection of a new garage or open car port.	To ensure that important structures such as garages or carports are in keeping with the character of a heritage item or conservation area, a development application will need to be lodged with Council.
Replacement of original materials with modern materials on front or side walls or for the addition of new decorative elements.	The introduction of new materials, such as the replacement of timber windows with aluminium casement windows, or the introduction of new decorative elements (eg a verandah where one did not exist previously) should be avoided as these can reduce the significance of a property. Where they are proposed, an application will need to be lodged with Council and the impacts assessed.
Demolition of a heritage item or building within a conservation area	Generally, Council does not support the demolition of properties that have been identified as having heritage significance. Where demolition is proposed, a heritage impact assessment should clearly show why this is the preferred action in light of the heritage significance of the item. Any recommendations for demolition should be based on the heritage significance of the item, not on the development potential of the land it is situated on. All development applications for demolition will be referred to Council's Heritage Adviser for comment, and will be considered by Council.

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TYPE OF WORKS	COMMENTS
Demolition or removal of significant aspects to a building or its grounds, such as old masonry walls and fences or outbuildings.	Any changes proposed to those aspects that are an important part of the property will require the consent of Council.
Adaptive reuse of heritage properties	Council encourages the adaptive reuse of heritage properties, where this new use will facilitate the conservation of the property. Please contact Council's Strategic Planning Section for more information on this matter.

3.1 What information should I include with my development application?

A Heritage Impact Statement will generally be required to be submitted with development applications relating to heritage items or conservation areas. In some cases, a Heritage Impact Statement may also be required to be submitted with applications for new development adjoining a heritage property. An information sheet showing what should be included in a Heritage Impact Statement is provided with your development application forms from Council.

In some cases (for example, if your item is of state heritage significance), Council may require you to submit a Conservation Management Plan with your development application. For information on the preparation of a Conservation Management Plan, please contact Council's Strategic Planning Section on 9840 9840.

3.2 How do I apply for approval?

The procedure for works involving heritage items and conservation areas is outlined in Figure 5.

3.3 How does Council consider a development application?

When you have lodged your development application, Council will assess the extent to which your proposal will affect the heritage significance of the heritage item and/or conservation area. In doing this, Council will refer to the Environmental Planning and Assessment Act 1979, the Holroyd Local Environmental Plan 1991, this DCP and other relevant plans. Council provides the service of a Heritage Adviser to show how changes can be made to your proposal that will help to meet the heritage objectives in this DCP. For demolition of State listed heritage items, Council is also required to refer the application to the NSW Heritage Office and Heritage Council for their approval under the Heritage Act, 1977.

3.4 Are there any incentives available?

To help you look after your heritage property, there are a number of important heritage incentives and assistance available. These include the following;

- a) Council provides a free heritage advisory service for owners of properties listed as heritage items in the LEP, and can provide general information on colour schemes, building materials and fences;
- b) If you are wishing to develop, you may be allowed a non-conforming use (ie. a use which is otherwise prohibited on the site) of your property if it is a heritage item, provided this helps in the conservation of this property;
- c) Council can also exclude part or all of the floor space of your heritage item when calculating the number of car spaces to be provided on your site, or will exclude part or all of the floor space of your heritage item from the site calculations when calculating maximum floor space ratios;

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- d) If your property is listed on a state or national heritage register, you may also be eligible for special State funding to help with the maintenance of your property;
- e) When considering a development application for works involving a heritage item, Council will consider variations to development standards contained within any of the Council's adopted Development Control Plans, provided the Council is satisfied that –
 - the proposed development complies with all of the heritage design controls contained within this Development Control Plan, and
 - the proposed development will not adversely affect the heritage significance of the heritage item or its setting, and
 - the proposed development will involve a complete and full restoration of the heritage item, if this is deemed necessary by the Council, and
 - the proposed development will not adversely affect the amenity of the surrounding area.

3.5 The Burra Charter

Considering the International Charter for the Conservation and Restoration of Monuments and Sites (Venice 1964), and the Resolutions of the 5th General Assembly of the International Council on Monuments and Sites (ICOMOS) (Moscow 1978), the Burra Charter was adopted by Australia ICOMOS (the Australian National Committee of ICOMOS) on 19 August 1979 at Burra, South Australia. The Burra Charter (as amended) provides guidance for the conservation and management of places of cultural significance (cultural heritage places), and is based on the knowledge and experience of Australia ICOMOS members.

This Part of the DCP had been developed in accordance with the principles of the Australia ICOMOS Charter for the Conservation of Places of Cultural Significance (the Burra Charter). The Charter sets a standard of practice for those who provide advice, make decisions about, or undertake works to places of cultural significance, including owners, managers and custodians. The Charter can be applied to all types of places of cultural significance including natural, indigenous and historic places with cultural values.

The Burra Charter advocates a cautious approach to change: do as much as necessary to care for the place and to make it useable, but otherwise change it as little as possible so that its cultural significance is retained. This is the essential principle that is advocated in this DCP regarding the conservation of Council's Heritage Items and Conservation Areas.

For more information regarding the Burra Charter, please call Council's Strategic Planning Section on 9840 9840, or visit the internet website of the Australia ICOMOS International Council on Monuments and Sites at www.icomos.org/australia/.

3.6 Why is it important to conserve our heritage?

It is important to conserve the heritage items and conservation areas within Holroyd as they are important assets that contribute to the character, identity and history of the Holroyd local government area.

The heritage of Holroyd is unique within Sydney in that it provides evidence of a cross-section of "everyday" life, not just of wealthy or important people, and the continued use of this land by Aboriginal people.

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Our first community – Holroyd and Aboriginal Heritage

Our earliest heritage record dates back to the Aboriginal occupation of this region. The Darug people are the original people of the Holroyd local government area. Since colonial settlement, other Aboriginal people have migrated to the Darug area and now form part of the indigenous community of Holroyd.

Holroyd has a number of Aboriginal archaeological sites that have remained since the pre-colonial period of this land. Aboriginal sites are important places and are protected under the New South Wales National Parks and Wildlife Act. If you find a site or any relics which you think may be Aboriginal in origin, please contact the National Parks and Wildlife Service or Council's Strategic Planning Section on 9840 9840 for further information.

Post-colonial times

Our heritage record also includes heritage items and conservation areas that demonstrate the interesting history of the post-colonial occupation of this area.

During the period of the early settlement of the new colony, Prospect Hill became the site of a number of early colonial land grants dating back to 1792, and was an important landmark and viewing point for early colonial explorers. During this early period, the Holroyd area was sparsely populated by convicts and settlers with small subsistence farms.

During the period 1810-1850, the Holroyd area continued to be largely populated by convicts and settlers, and had a sparsely settled, rural character. Large and important landowners such as D'Arcy Wentworth and William Lawson also established notable estates in the Holroyd area.

During the period between 1850 and 1900, the Holroyd district continued to be occupied mainly by large estates designed as rural retreats for "gentleman" farmers. From the 1880's, however, this began to change and this period saw the introduction of large industrial developments, such as the Goodlet and Smith cement, brick and tile company.

The period of 1900 to 1940 saw a progressive increase in the population of Holroyd. Settlement was still clustered around particular centres such as Merrylands and Guildford. Along with this increase in residents, the area saw the continued development of railways, new housing subdivision, new commercial development, yet with many small farms remaining across the district.

The period of 1940 to the 1960's saw a population boom take place in Holroyd, as new people flocked to the area to live out the dream of home ownership. In Holroyd, the population trebled between 1942 and 1962 by which time the rural activities which took up half of the land during earlier times, had virtually disappeared. Industry also continued to expand across the municipality, and facilities and infrastructure were constructed to meet the needs of this growing population.

We can find examples of all of these phases of history represented in our heritage items and heritage conservation areas, located throughout our local government area.

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Our Heritage Items include buildings, works, archaeological sites (non-Aboriginal) or places that are considered to have heritage significance. They can include things such as houses, factories, railways, machinery, cemeteries and public parks.

A Heritage Conservation Area is a geographical area containing many different elements, which collectively have heritage significance. Within Holroyd, three conservation areas have been identified. These are the Tottenham Street Conservation Area, the Toohey's Palm Estate Conservation Area and the Fullagar Road Conservation Area.

The concept of Heritage Significance is based on the understanding that the particular item has historical, scientific, cultural, social, archaeological, architectural, natural or aesthetic value for past, present and future generations. Heritage items or conservation areas usually possess one or more of these values.

Some of these heritage places that are located in the Holroyd area are illustrated on the following pages.

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FIGURE 1: Dunmore House demonstrates both local and regional historic and aesthetic significance. Historically, the site is of significance through its origins as part of D'Arcy Wentworth's 1819 land grant as well as through its associations with Colonial Treasurer Sir William Macmillan who built the house in 1887 and George Bond who reputedly established the country's first cotton spinning mill in the paddocks near the house. The house is also one of the few remaining houses in Holroyd of the large "boom style" residences erected in the prosperous years of the late 19th century and is a notable landmark in the area.

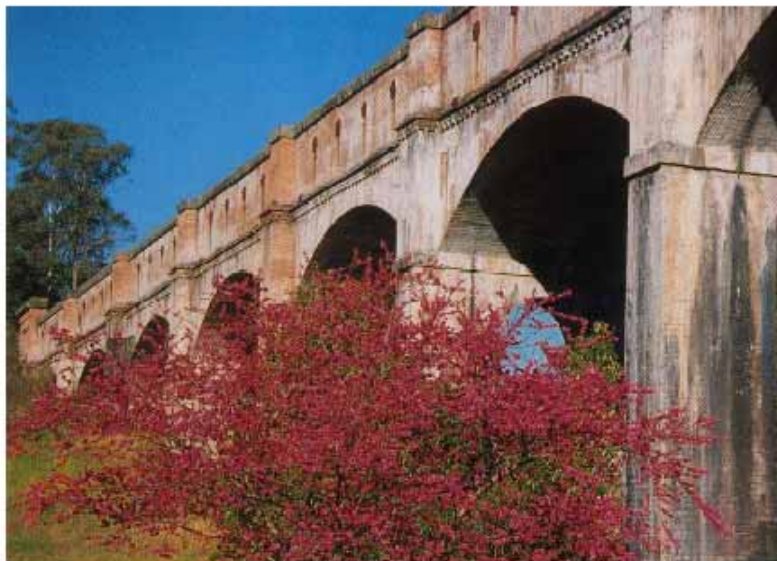


FIGURE 2: The Greystanes (Boothtown) Aqueduct demonstrates historic, scientific and aesthetic significance. Built in 1883, the aqueduct is a rare engineering feat in Australia, demonstrating the high level of engineering skill its builders were prepared to utilise in order to supply Sydney with water. The aqueduct is also an important landmark, and with the two valve houses nearby, creates an exciting and unique vista.

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FIGURE 3: Linnwood demonstrates both local and statewide historic, social and aesthetic significance. Designed and built in 1891 by George McCredie, a prominent figure in both local and state politics, the residence is one of a very small group of residences in Holroyd of this architectural quality. In a statewide context the building is a good representative example of Victorian Italianate villa with much original fabric and detailing, at the local level it is a notably rare and fine example of such a building. The historic and aesthetic significance of the site is enhanced by the retention of some of its original landscaped grounds, which provide an attractive and historically appropriate setting for the main residence.



FIGURE 4: This house at No. 48 Albert Street Guildford demonstrates local aesthetic, social and historic significance. This property has historic and social significance as one of the earliest remaining large suburban residences constructed on the former “Sherwood” land, which was granted to William Sherwin in 1831. The property has aesthetic significance as one of the earliest remaining houses in Albert Street and as a fine and largely intact example of a Victorian Georgian style of building dating to the late nineteenth century. It also has aesthetic significance for the strong contribution the property makes to the character of Albert Street.

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4.0 STEPS FOR DEVELOPMENT INVOLVING, OR NEAR A HERITAGE ITEM OR CONSERVATION AREA

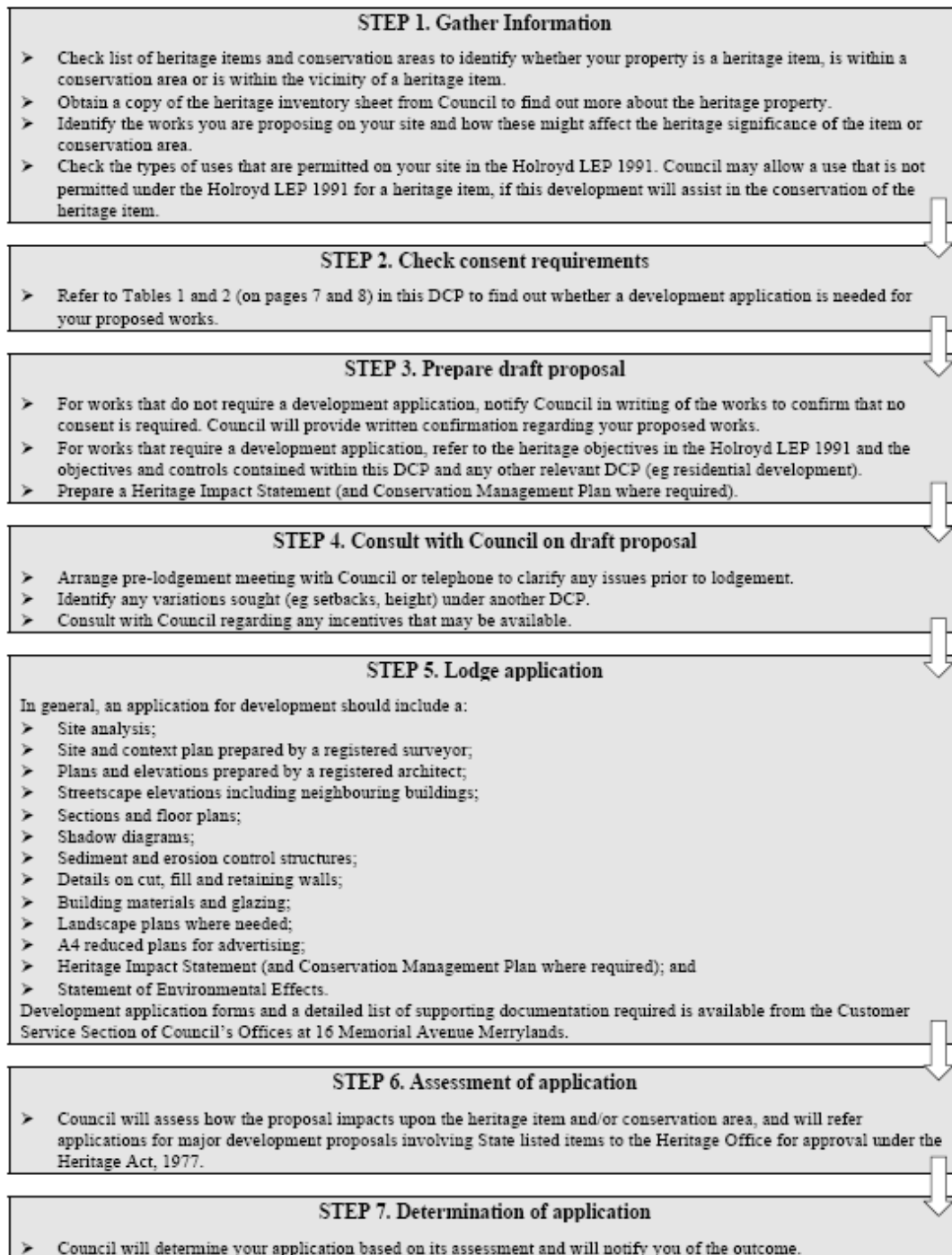


Figure 5

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5.0 CONSERVATION AND DEVELOPMENT OF HERITAGE ITEMS

The following controls aim to encourage sympathetic conservation works to heritage items, whilst enabling appropriately designed alterations and extensions which complement the style of the building and the character of the streetscape.

5.1 Performance Criteria (Preferred Outcomes)

- a) Conservation or maintenance works on a heritage item use materials, detailing (eg windows), features (eg verandahs), and design elements (eg fences and gates) that are appropriate to the style and age of the heritage item.
- b) Additions or extensions to heritage items are located and designed to complement the existing scale, character and amenity of the streetscape.
- c) Additions or extensions do not dominate the appearance of the heritage item from the street and are consistent with the style of the building.
- d) New development within the curtilage of a heritage item is suitably located, and retains the visual dominance of the heritage item with minimal impact upon the fabric and significant landscaping associated with the item.
- e) Garages and carports are designed and located so that they do not impact upon the appearance or fabric (materials) of the heritage item and its setting, and comfortably fit with the character of the area.
- f) Alterations or additions to existing commercial or civic heritage items are designed to respect the scale and form of the existing building, and are located to have minimal visual impact from the street and on the significant fabric of the building.
- g) Heritage items are able to be adaptively reused with minimal and acceptable changes to building fabric, and incorporate the use of unobtrusive and well-designed signage, lighting and external treatments.

5.2 Prescriptive Measures

5.2.1 Conservation and maintenance works

- a) When undertaking conservation or maintenance works on a heritage item, the materials, colours and maintenance techniques used should be appropriate to the style and age of the heritage item. Original face brick should generally not be rendered as it removes or covers over the original colours and textures of the building. New roofing materials should match the appearance of original materials.
- b) Construction techniques should also reflect original building techniques where possible, such as the use of lime based mortars for re-pointing bricks rather than the use of cement based mortars as these may damage the structure of the building. Council's heritage adviser can provide information about the use of traditional materials and techniques for a heritage item.
- c) When undertaking works on a heritage item, the design of building detailing such as windows or doors, should be in keeping with the age and style of the heritage item. For example, a heritage item of the Inter-War bungalow style generally used casement style windows with decorative coloured panes.

Where original design features, such as bull nosed verandahs, have been removed, these should be replaced where possible on a heritage item, as they are important to the design and appearance of the building and generally serve a useful function.

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- d) Where original gates and fences still remain as part of a heritage property, these should be retained. Where this is not possible, the use of replacement fences and gates should be in a style appropriate to the design and style of the building.

5.2.2 Residential Alterations and Extensions

- a) When undertaking extensions or alterations to a heritage item, the design of the proposed extensions or alterations should generally be compatible with the style of the heritage item and its height, scale and proportion.
- b) In general, where an extension is proposed to a single storey dwelling, the extension should also be single storey and should be located to the side or rear of the property so as not to affect the streetscape appearance of the item.
- c) Where an upper storey extension is proposed to a single storey heritage item, the extension should be contained within the roof form (eg a dormer). This may mean constructing an addition that has a minimum ceiling height on the ground floor, or an attic-style pitched ceiling on the first floor. Where this is not possible, the extension should be located to the rear of the property and incorporate a transition from the single storey scale of the original house (at the front) to the two storey scale of the new structure at the rear. This transitional form may be building form (such as roofs that step up progressively), or may be a space or void which helps to separate the two height forms.
- d) Rear second storey additions should use recessive colours and should not visually dominate the existing building to the front.
- e) When undertaking additions to a heritage item, the roof extension should be carefully designed to ensure that it is compatible with the original building. In general, roofs of additions should be consistent with the existing roof in terms of its form, pitch, eaves and ridge height, and should be in proportion to the existing building.
- f) Design Details
The treatment of design details, such as verandah posts, doors or windows, on new extensions to heritage items should generally be consistent with those of the original building. In general, it is appropriate to use a simpler version of the design details used in the original building, so that the new additions are in keeping with, yet still able to be differentiated, from the original structure.

5.2.3 Garages and Carports

- a) When adding a new garage to a heritage item, open-sided carports are generally more acceptable and less intrusive than solid structures as they do not affect the fabric and streetscape appearance of the heritage item.
- b) If a solid garage is proposed for a heritage item, the garage should generally be located away from (ie detached from) the main house-structure, or set back from the side or rear of a property so that the heritage item visually dominates.
- c) Garage or carport designs should use design detailing, materials and colours that refer to, and are compatible with, the original building to assist in disguising the visual impact of the structure.

5.2.4 Landscaping and gardens

The siting of buildings should respect any significant trees and gardens identified on the site. Any development should be located outside the critical root zone and/or drip line of a tree.

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5.2.5 Curtilage Development

- a) Where proposing development within the curtilage of a heritage item, the new development should be designed so that the heritage item retains its visual prominence. The colours and materials used within the new development should therefore be recessive (ie do not dominate) and complement the colours and materials of the heritage item. New development within the curtilage should not adversely impact upon the significant fabric of a heritage item.
- b) Where new development is proposed within the curtilage of a heritage item, a reasonable "buffer" space should be provided between the original building and the new development. Significant gardens should be retained in any curtilage redevelopment.
- c) With regard to curtilage development, to ensure an appropriate scale and the visual prominence of a heritage item, the height of new buildings should not exceed that of the original heritage building. The new development should be massed so that lower-scale buildings act as a transition between the new and the old.
- d) New development within the curtilage of a heritage item should not block the sight lines from public areas to the original building.

5.2.6 Civic, Commercial and adaptive reuse

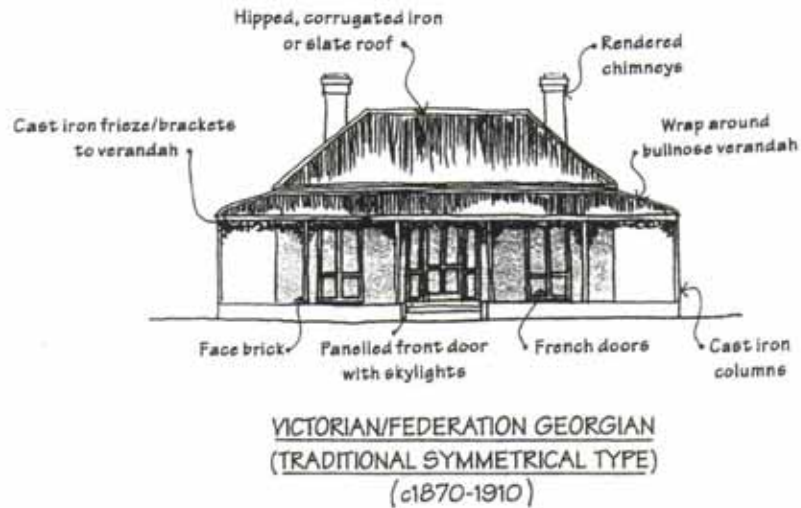
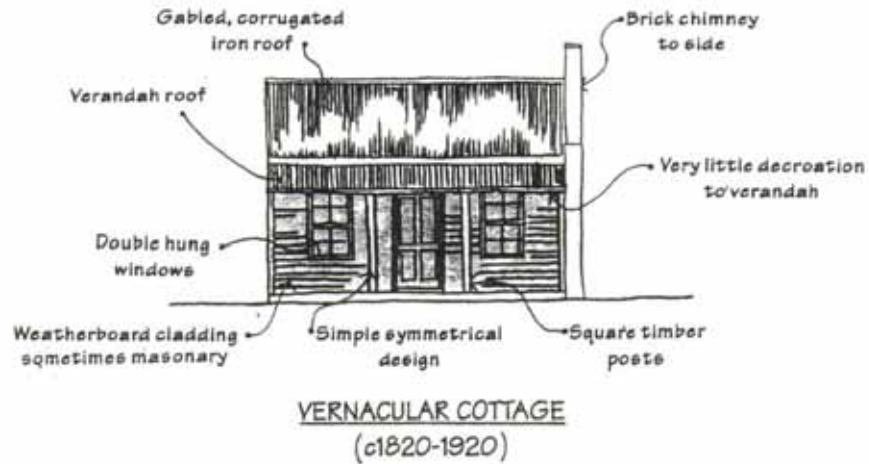
- a) Where redevelopment is proposed for heritage items that are of a commercial or civic nature, the new development must generally meet the controls listed above.
- b) In general, for commercial development, retention of the original streetscape facades is required, with extensions or redevelopment to be located to the rear (ie away from the street) of the property. Development should be generally compatible with the existing height, scale, massing and detailing and setbacks and orientation of existing development within the streetscape. Colours and materials should be carefully selected so that they do not visually dominate, or overly contrast with, that of the existing heritage item.
- c) For development involving churches or schools, removal of more recent structures is considered acceptable where it is demonstrated that they are not critical to the heritage significance of the property. New development should be located to the side or rear of the heritage item and the original building should visually dominate. New extensions should be recessive and utilise compatible colour schemes and materials with the original building. Development should not impact upon the sight lines from public areas to the original building.
- d) When proposing the adaptive reuse of a heritage item, the new development must generally meet the controls listed above. Development should minimise any changes to the significant fabric of the building and, in particular, to the streetscape appearance of the heritage item. Signage, lighting, materials and colours used should be unobtrusive and compatible with the overall style and design of the building.

The following pages illustrate the main design controls outlined above.

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CONSERVATION AND DEVELOPMENT OF HERITAGE ITEMS

FIGURE 6: Common Building Styles used in Holroyd



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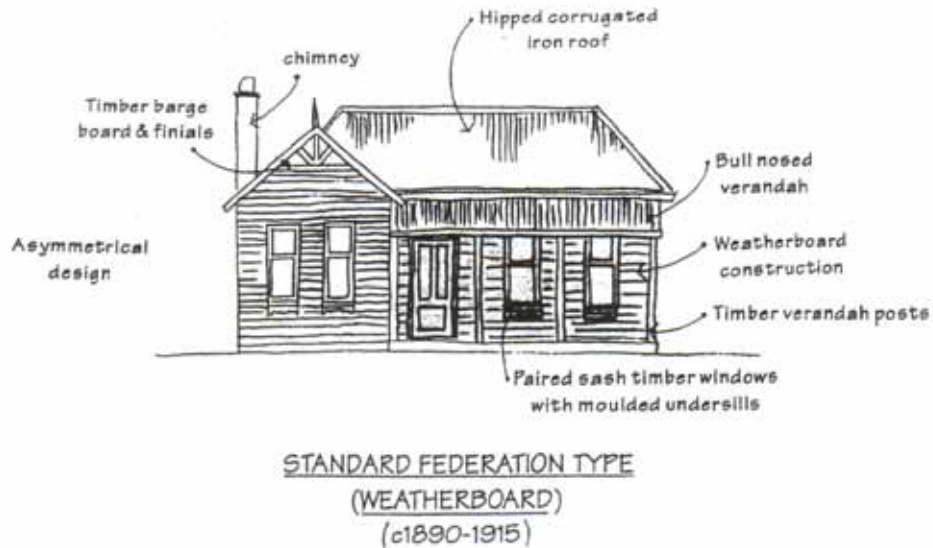
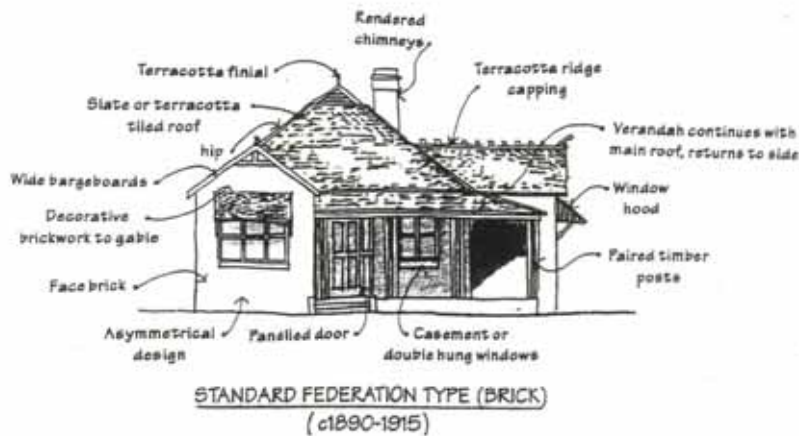


FIGURE 7: Common Building Styles used in Holroyd (cont.)



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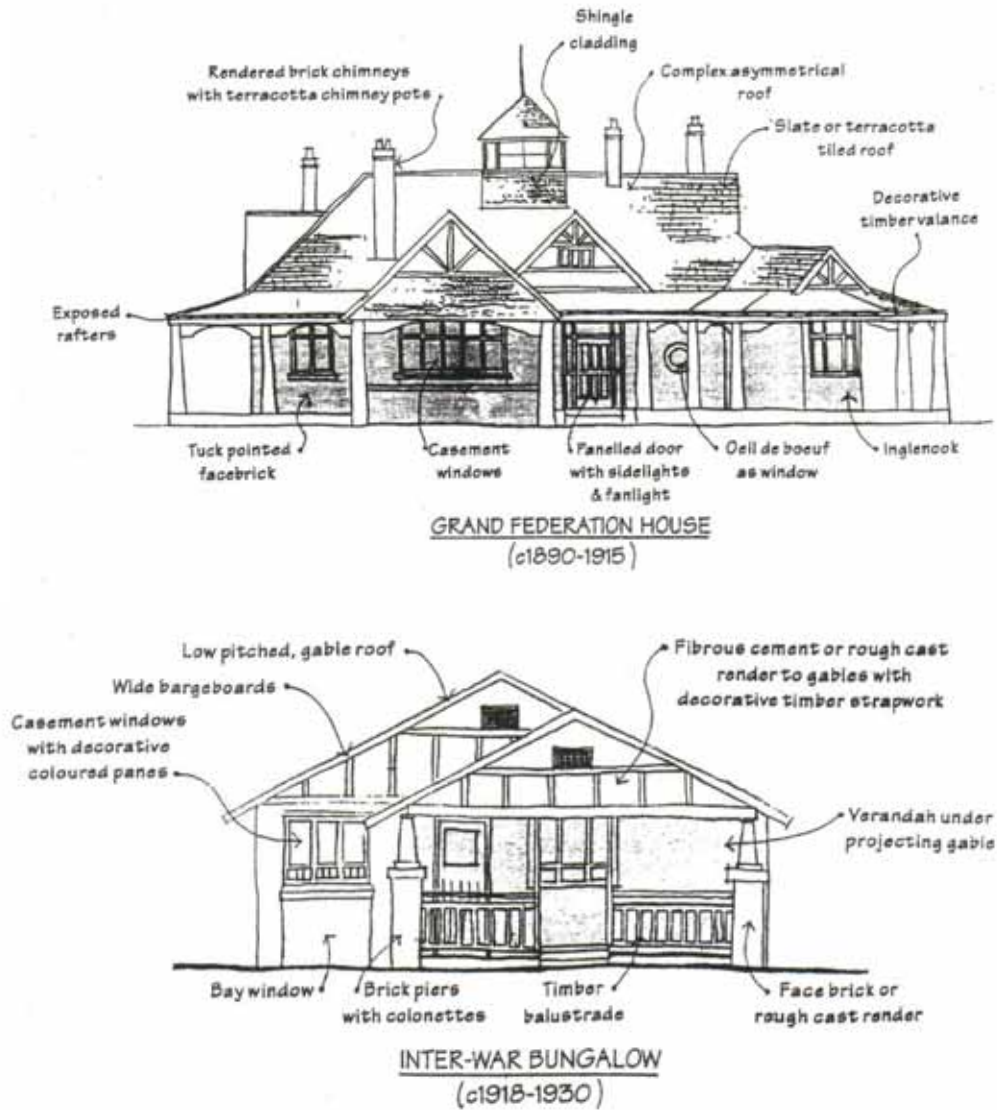


FIGURE 8: Consistent single storey scale of heritage items.



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FIGURE 9: Location of second storey addition in roof area of single storey dwelling.

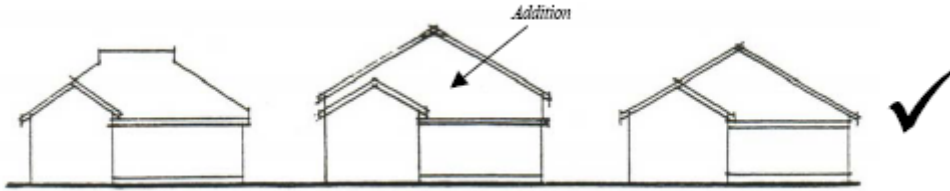
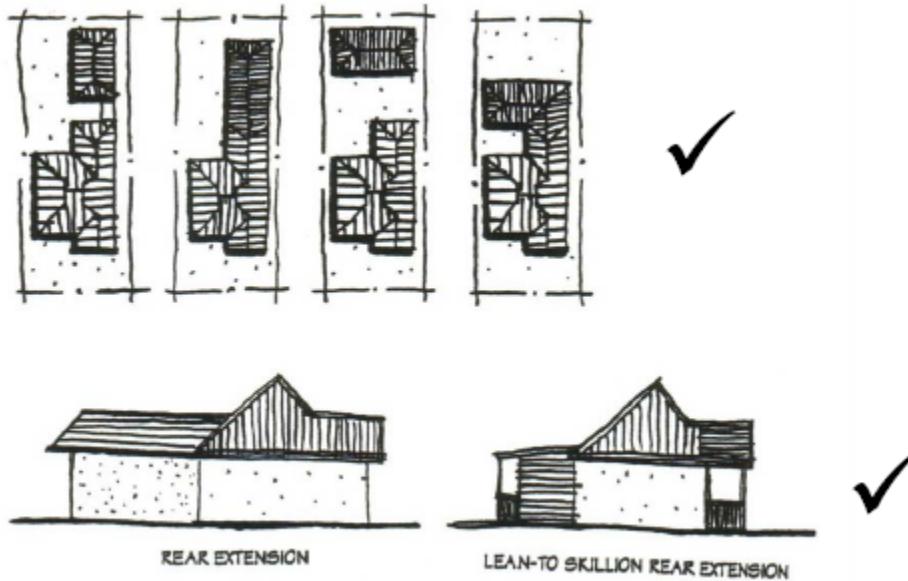


FIGURE 10: Location of single storey addition to rear of heritage item.



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FIGURE 11: Preferred location of garages and carports for heritage items.

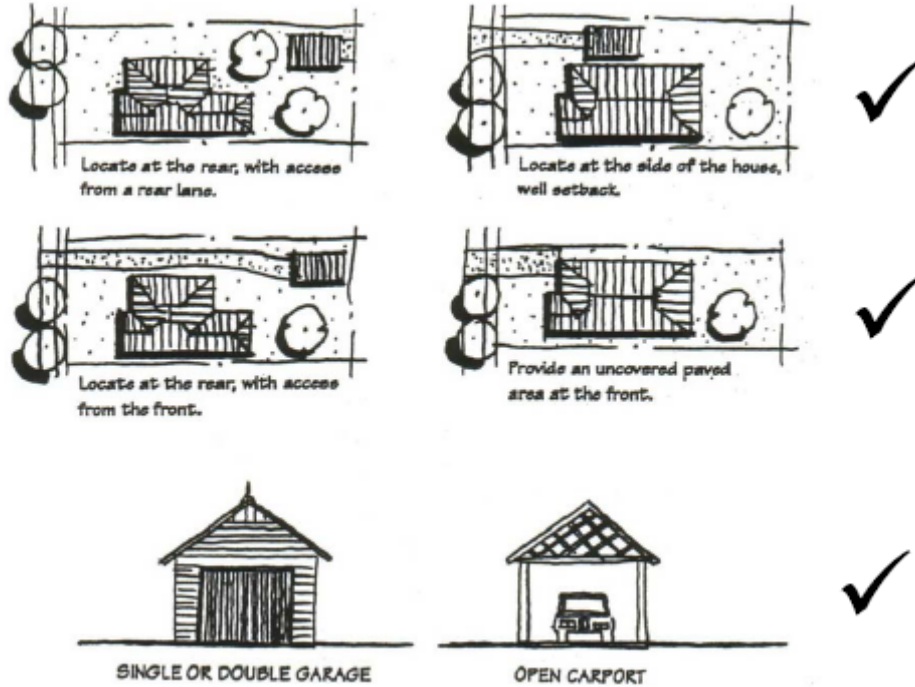
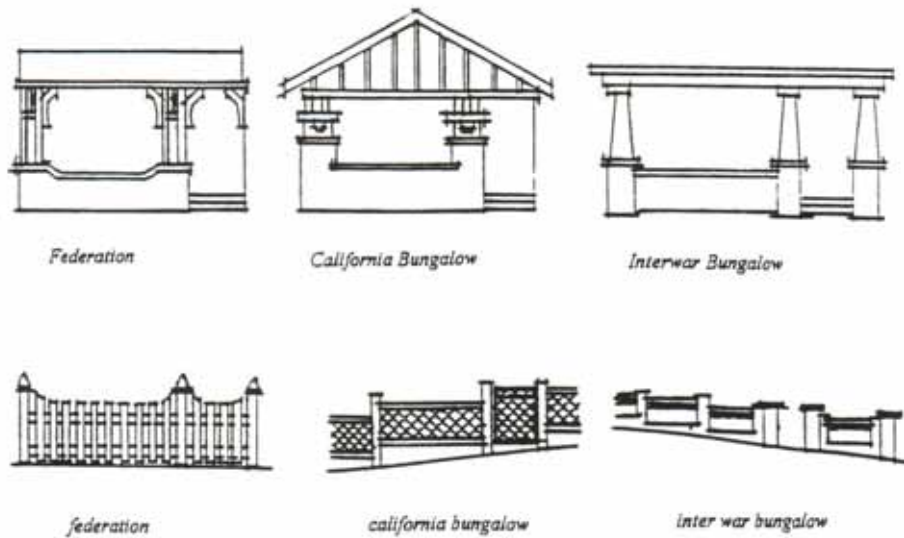


FIGURE 12: Common verandah and fence styles.



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6.0 DEVELOPMENT IN A CONSERVATION AREA

The following controls aim to ensure that the special character of each of Holroyd's conservation areas is retained and conserved, whilst enabling appropriately designed alterations and extensions which complement the style of the building and the character of the conservation area.

6.1 Performance Criteria (Preferred Outcomes)

- a) Buildings located within the Tottenham Street Conservation Area, the Fullagar Road Conservation Area and the Toohey's Palm Estate Group Conservation Area retain their original materials, features (eg verandahs) and detailing.
- b) Additions or extensions to buildings within a conservation area are located away from the street frontage and are designed to complement the scale, form, style of the building and character of the conservation area.
- c) Additions or extensions to buildings within a conservation area are designed to be consistent with original setbacks or involve the retention of front or side curtilages where these are a characteristic of the conservation area.
- d) Redevelopment within a conservation area only involves non-original structures or buildings, and is designed to be consistent with the height, scale, proportion, predominant setbacks and character of buildings within the conservation area.

6.2 Prescriptive Measures for all Conservation Areas

- a) When undertaking conservation or maintenance works on a building within a conservation area, the materials, colours and maintenance techniques used should be appropriate to the style and age of the building.
- b) When undertaking works on a building within a conservation area, the design of the building detailing such as windows or doors, should be in keeping with the age and style of the building and to the overall character of the conservation area.
- c) Buildings within conservation areas should retain original gates and fences or should use a style and materials that are appropriate to the age of the building and to the character of the conservation area.
- d) When locating a new garage to a building within a conservation area, open sided carports are generally more acceptable and are less visually intrusive than solid structures. Where solid structures are proposed, these should generally be located away from the main house structure, or set back to the side or rear of the property.
- e) Where any alterations or additions are proposed to a building within a conservation area, these should be carefully designed to continue the specific scale and form of the building and the overall character of the conservation area.

6.3 Prescriptive Measures for Each Conservation Area

6.3.1 Fullagar Road Conservation Area

- a) Any proposed works on a building which has been identified as a heritage item within this conservation area should be designed to retain the original classical detailing as well as the fenestrations (arrangement of windows in a wall) which are characteristic of buildings within this conservation area.
- b) Where works are proposed to a building that is currently face brick, the building should remain unpainted or unrendered.

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- c) The demolition of existing buildings within this conservation area should not be undertaken as this will impact upon the presentation and integrity of the buildings as a group.
- d) Where additions and extensions are proposed, these should be single storey only, and are to be located to the rear or side of the building so that they do not impact upon the presentation of the building from the street.
- e) Alterations and extensions should not alter the form or fabric of the roof. In general, roofs of single storey additions in this conservation area should be consistent with the existing roof in terms of form, pitch, eaves and ridge height.

6.3.2 Tottenham Street Conservation Area

- a) Any proposed works on a building which has been identified as a heritage item within this conservation area should be designed to retain and conserve all original detailing, design features and materials characteristic of that building.
- b) Where original design features such as bull nosed verandahs have been removed or replaced, these should be restored to original condition to improve the visual appearance and integrity of this group.
- c) Where additions and extensions are proposed, these should be single storey only, and are to be located to the rear or side of the building so that they do not impact upon the presentation of the building from the street.
- d) Any alterations and extensions to buildings within this conservation area should not alter the form or fabric of the roof as seen from the street. In general, roofs of single storey additions in this conservation area should be consistent with the existing roof in terms of form, pitch, eaves and ridge height.
- e) Where redevelopment of non-original structures or buildings is proposed within this conservation area, the new development should be designed to be consistent with the height, scale, proportion, predominant setbacks and character of buildings within this conservation area.

6.3.3 Toohey's Palm Estate Group Conservation Area

- a) Any proposed works on a building within this conservation area should be designed to retain and conserve all original detailing, design features and materials.
- b) Any proposed works on a building which has been identified as a heritage item within this conservation area should be designed to retain the original front and side curtilage of the building, which is characteristic of buildings within this Conservation Area.
- c) Where works are proposed to a building that is currently face brick, the building should remain unpainted or unrendered.
- d) Where additions and extensions are proposed, these should be single storey only, and are to be located to the rear or side of the building so that they do not impact upon the presentation of the building from the street.
- e) Where alterations and extensions are proposed, these should not alter the overall form or fabric of the roof. In general, roofs of single storey additions in this conservation area should be consistent with the existing roof in terms of form, pitch, eaves and ridge height.

The following pages illustrate the main design controls outlined above.

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FIGURE 13: Map showing Tottenham Street conservation area and individual heritage items located within the conservation area.

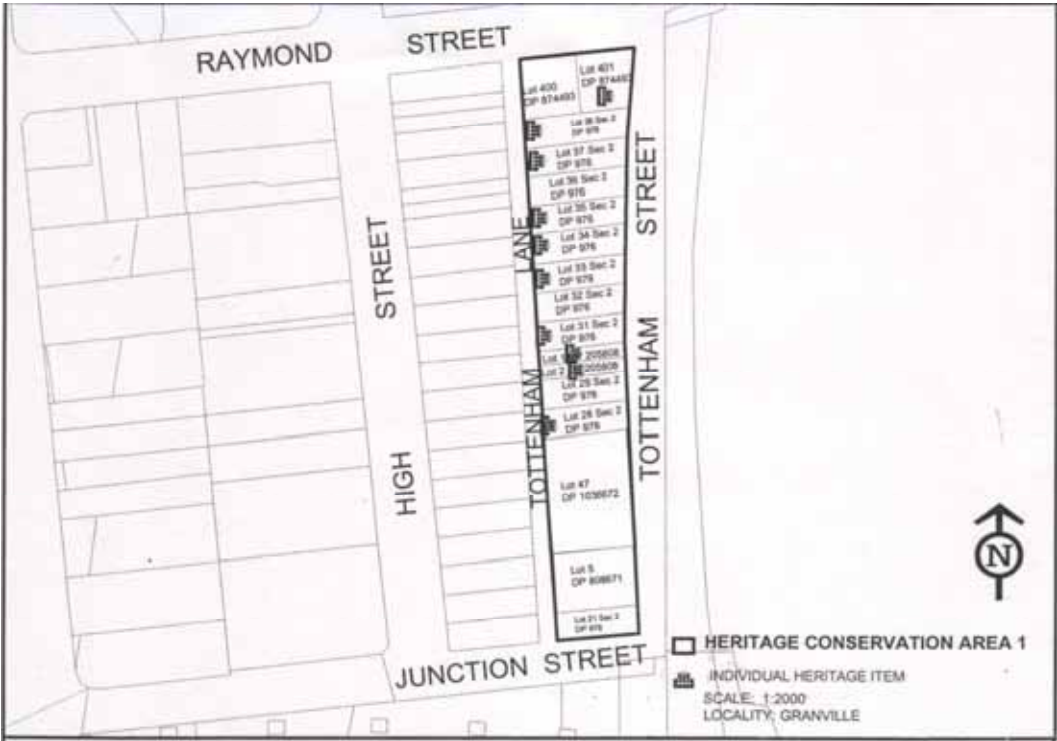


FIGURE 14: Tottenham Street Conservation Area

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The buildings in Tottenham Street are significant as part of a group of small scale residential buildings in Tottenham Street, Granville. The group is largely intact externally and is significant for the variety of building styles and as a good representative example of early cottages dating from around the turn of the century. The buildings are significant for their form, scale and character which gives a good indication of the socio-economic makeup of the community at the time of construction. The group gives a good representative cross-section of modest scale residences at the turn of the century, and their location close to Parramatta and the railway provides evidence of the influence of these factors on the early development of Holroyd.

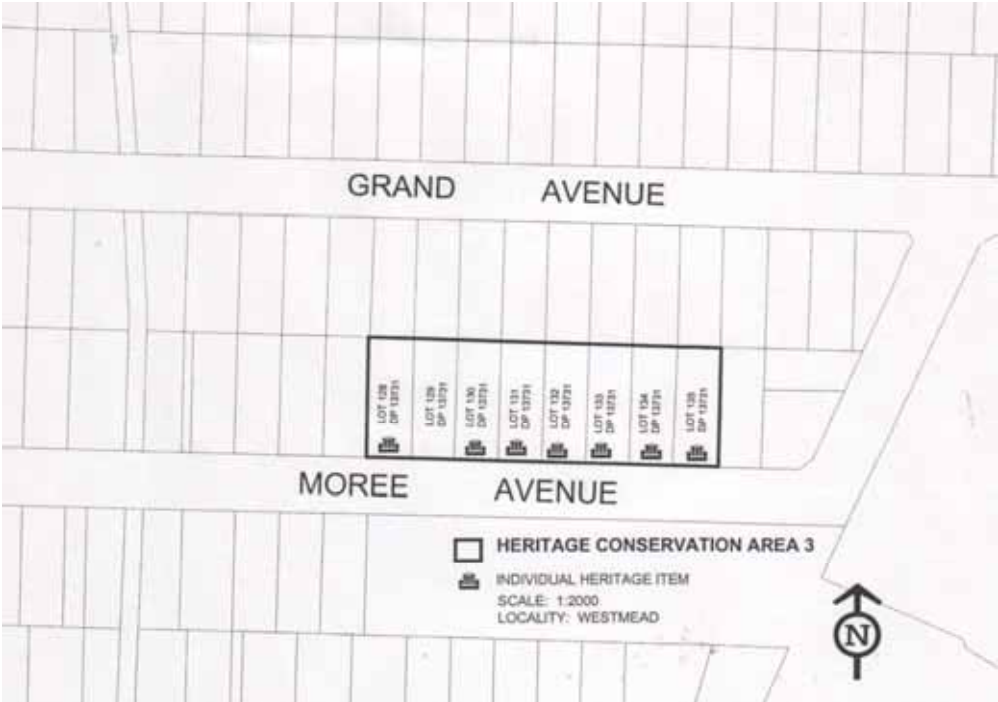


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FIGURE 15: Map showing Toohy's Palm Estate Group conservation area and individual heritage items located within the conservation area.



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FIGURE 16: Toohey's Palm Estate Group Conservation Area



The Moree Avenue bungalow group has local historic significance arising from the evidence it provides of the pattern of suburban development in Holroyd in the interwar period. Built as part of the Toohey's Palm Estate, a planned subdivision which used a distinctive pattern of palm tree street planting to give a unified identity and character to the newly created group of allotments, these early residences retain much of their original character and fabric and thus provide evidence of the social, economic and architectural forces which accompanied the burgeoning of new residential development in this period.



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FIGURE 17: Map showing Fullagar Road conservation area and individual heritage items located within the conservation area.

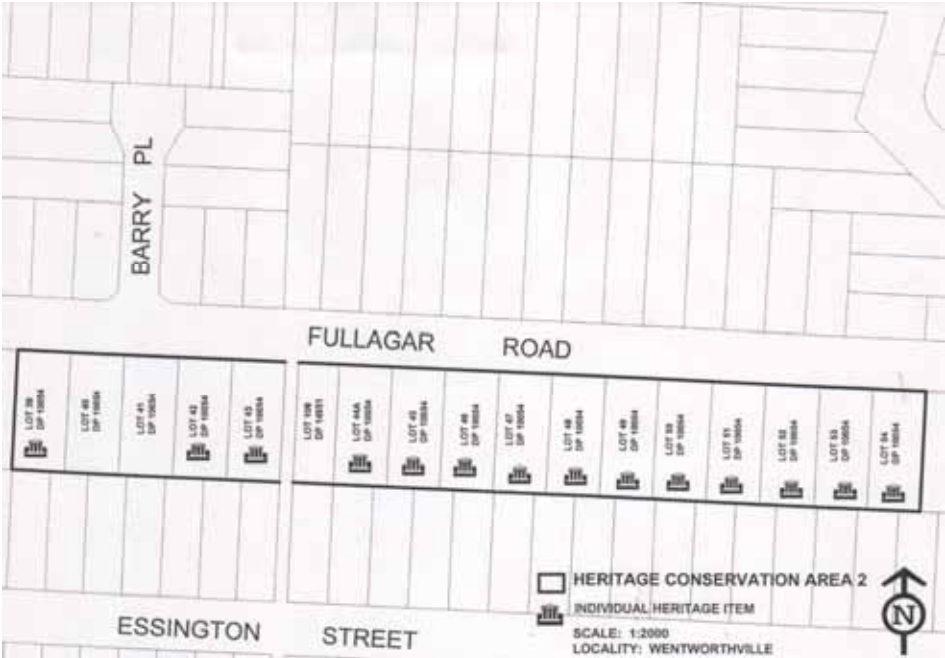


FIGURE 18: Fullagar Road Conservation Area



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The Fullagar Road War Service Homes group has both local and statewide historic, social and aesthetic significance. Within Holroyd, the group is the largest and most intact representative example of Inter-War service homes, and provides evidence of contemporary social and architectural attitudes to housing ex-service personnel in the years immediately following World War I. The buildings are significant individually and as a group, as fine and largely intact examples of the Inter-War Georgian style constructed in quality materials with good layouts and style. Within the state context the group is one of the earliest War Service homes estates so far to the west of Sydney, and one of the few groups which were constructed in this distinctive style.



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7.0 DEVELOPMENT IN THE VICINITY OF A HERITAGE ITEM

The following controls aim to ensure that new development complements the existing streetscape character and the heritage significance of any heritage items or conservation areas within the vicinity of the development, and does not adversely affect the structure, curtilage, landscaping, solar access or views associated with these heritage items.

7.1 Performance Criteria (Preferred Outcomes)

- a) New development fits within its environmental and built context and is designed to make reference to any significant heritage item or feature.
- b) New development continues the predominant scale, height, proportion, setbacks and design details of adjoining development and its streetscape context.
- c) New development maintains the existing streetscape character and is compatible with its particular heritage themes.
- d) New development is carefully sited to avoid causing physical damage to any heritage item or building within a conservation area.
- e) New development is located so that it does not overshadow or affect the curtilage, landscaping, setting or views associated with any heritage item or conservation area.

7.2 Prescriptive Measures

7.2.1 Context

- a) Where new development is proposed within an established area, the development should be designed having regard to its environmental and built context, to the existing streetscape character and to any heritage items or conservation areas that may be located nearby.
- b) Streetscape Character
- c) New development should be designed to be consistent with, and fit comfortably within, the existing streetscape character. In this regard, the development should make reference to the predominant height, scale, roof form and pitch, proportion, setbacks, design details and features of adjoining development and of any adjacent heritage items or conservation areas.
- d) In general, the height and scale of new development should be consistent with the predominant streetscape height and compatible with the height of adjoining development. Where a new building is proposed in a street that is predominantly single storey or where adjoining heritage items are single storey only, the proposal should also be single storey. In the same way, the new development should be compatible in terms of its scale and massing (overall bulk and arrangement of parts). New buildings should not dominate their surroundings, nor should they be substantially smaller.
- e) In residential flat zones where a maximum height of 9.5m to the ceiling or 12.5m to the ridge is permitted, where a flat building is proposed adjoining or adjacent to a heritage item, any height and scale differences between a heritage item and new development should be minimised by stepping the height or locating the bulk of the new development away from the heritage item. However, where there is a site specific Development Control Plan, such as for the Heritage Precinct of Holroyd Gardens, the specific requirements outlined within that DCP will apply.

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- f) To ensure that new development is visually compatible within its streetscape context and with any adjoining heritage items, new development should line up or continue any significant building elements of adjoining development, such as roof-lines, roof form and pitch, parapets, verandahs, awnings or string courses. Window and door openings, building lines and building massing of new development should also be designed in the context of its adjoining development.
- g) Where a particular heritage theme predominates within a street (eg predominantly Federation period cottages), the design of new development should be compatible with this heritage theme. For example, a large, bulky contemporary style building redevelopment with a predominance of long horizontal lines may not be a compatible design within a street of predominantly small scale Federation period cottages with narrow, vertical design features (eg windows, doors, verandah posts, chimneys).

7.2.2 Setbacks and Orientation

- a) New development should be carefully sited so that it is consistent with the predominant street and boundary (side) setbacks. In general, a front setback of 6m for single and multiple dwellings and 8m for residential flat buildings applies throughout the Holroyd local government area. In the majority of cases, new development should conform to the predominant setback of the street to maintain the character of the streetscape or the heritage significance of the area. However, this may be varied where an increased or decreased front or side setback will assist in ensuring that a new development does not visually dominate any adjoining heritage items.
- b) New development should be carefully sited so that it is consistent with the predominant orientation of other buildings within the street. New buildings within an existing streetscape should not be oriented across sites contrary to the established pattern. However, where a new development is proposed adjoining a significant heritage feature such as the Parramatta Regional Park, new development should continue the primary orientation to the park, and should provide an appropriate entry design and setback treatment along the park frontage.

7.2.3 Siting and location

- a) The siting of new development should not affect the structure of, or otherwise cause physical damage to, any heritage item.
- b) New development should be located so that it does not adversely impact upon the identified curtilage, setting or landscaping, solar access or any significant views to or from a heritage item.

7.2.4 Visual Impact

- a) For any new development in the vicinity of a heritage item or conservation area, the design of the street elevation should be relatively uncomplicated, and consist of simple forms so that it does not visually compete with the heritage item.
- b) In residential zones where a higher density is permitted, new development adjoining/adjacent to a heritage item should avoid incorporating large unbroken wall areas. Where new development is necessarily larger than its surrounding development, the bulk can be reduced by breaking long walls into bays or by arranging the openings in the wall so that their size and shape reflect the structure and the openings of its neighbours.
- c) Landscaping can also be used to minimise the visual appearance of large wall areas in new development adjoining a heritage item.

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- d) Where new development is proposed adjoining a heritage item or conservation area, the development should incorporate the use of colours and materials that are recessive (ie step back) so that they do not visually dominate the heritage item. Darker colours and simple facade treatments can assist in minimising the visual impact of new development on adjoining heritage items.
- e) Buildings in the vicinity of heritage items or conservation areas should use a style and material of fencing (and gates) that are appropriate to the age and style of the heritage item and/or to the character of the conservation area.

The following pages illustrate the main design controls outlined above.

FIGURE 19: New 1.5 storey development is in scale with its adjoining buildings.

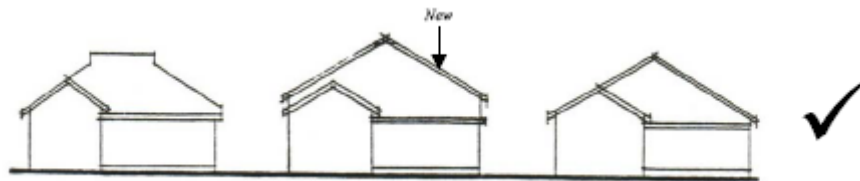
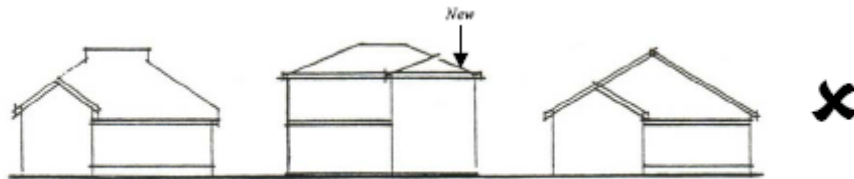


FIGURE 20: New 2 storey development ignores the established pattern of scale and dominates the surrounding buildings by virtue of its scale.



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FIGURE 21: New development is carefully sited to be consistent with existing setbacks.

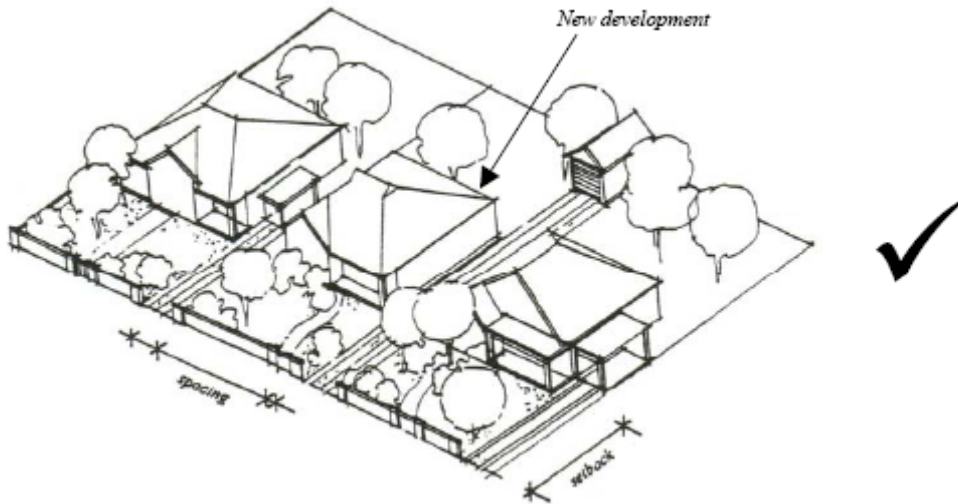


FIGURE 22: New development is out of character with the existing heritage item.



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FIGURE 23: New development ignores the predominant street orientation and front setbacks.

